

City of Caldwell Department of Building Safety



Guide to Residential Additions

Building Permit Guide and Application Packet

205 S. 6th Ave.
Caldwell, ID 83605

Phone: 208-455-3024

www.Cityofcaldwell.org



CITY OF CALDWELL
 Department of Building Safety
 205 S. 6th Ave.
 Caldwell, ID 83605
 Ph: 208-455-3024
 Brett Clark, C.B.O., Building Official
 Website * www.cityofcaldwell.org

BUILDING PERMIT APPLICATION

RESIDENTIAL / UTILITY	Plan Review Fees:	Plan review fees are required to be paid in full at time of submittal.
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PROJECT INFORMATION

Job Address:			
Legal Descr.	Lot No.	Block No.	Subdivision:
Owner:			Phone
Address		Email:	
Contractor:		Phone	Reg. No.
Address		Email:	
Architect:			Phone
Address		Email:	
Engineer:			Phone
Address		Email:	
Class of Work: <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MISC.			
Single Family Dwelling: _____ Sq. Ft.		Garage: _____ Sq. Ft.	
		Porches / Misc. _____ Sq. Ft.	
Duplex / Townhouse: _____ Sq. Ft.		Garage: _____ Sq. Ft.	
		Porches / Misc. _____ Sq. Ft.	
Scope of Work: (if other than above)			

Valuation of Work: \$ Plan Review Application Accepted By, _____ <table style="width: 100%; border: none;"> <tr> <td style="border: none;">PLAN CHECK VALIDATION:</td> <td style="border: none;">Check #</td> <td style="border: none; text-align: center;">MO</td> <td style="border: none; text-align: center;">Cash</td> </tr> <tr> <td style="border: none;">PERMIT VALIDATION:</td> <td style="border: none;">Check #</td> <td style="border: none; text-align: center;">MO</td> <td style="border: none; text-align: center;">Cash</td> </tr> </table> <p style="font-size: small;">SEPARATE PERMITS ARE REQUIRED FOR PLUMBING, ELECTRICAL, MECHANICAL, DEMOLITION, AND MOVED BUILDINGS.</p> <p style="font-size: x-small;">THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS FROM THE ISSUANCE OF THIS PERMIT, OR IF CONSTRUCTION OR WORK IS ABANDONED OR SUSPENDED FOR A PERIOD OF 180 DAYS AFTER WORK IS COMMENCED. EXPIRED PERMITS ARE NOT ELIGIBLE FOR AN EXTENSION.</p> <p style="font-size: x-small;">I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF ORDINANCES AND LAWS GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION.</p> <p>_____ Signature of Contractor or Authorized Representative (Date)</p> <p>_____ Signature of Owner (If Owner Builder) (Date)</p>	PLAN CHECK VALIDATION:	Check #	MO	Cash	PERMIT VALIDATION:	Check #	MO	Cash	OFFICIAL USE ONLY
PLAN CHECK VALIDATION:	Check #	MO	Cash						
PERMIT VALIDATION:	Check #	MO	Cash						
BUILDING PERMIT #									
Adjusted	Total Permit \$								
Type of Const.	Occupancy Group								
Complies W/Rescheck <input type="checkbox"/> Yes <input type="checkbox"/> No									
Actual Sq. Ft. Of Building	Actual Sq. Ft. Of Garage								
Building Height	Number of Stories								
Actual Sq. Ft. Of Porches	Actual Sq. Ft. Of Porches								
Zone Designation	Floodplain Requirements: <input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____								
DEPARTMENT APPROVALS									
Department	Signature								
Date									
Planning & Zoning									
Engineering									
Fire									
Building									

BUILDING PERMIT APPLICATION INFORMATION

- ☒ Fences and other miscellaneous projects only require the completion of the building permit application and a minimal review.
- ☒ Additional permits are required for any electrical, plumbing and mechanical installations.
- ☒ Permit applications are reviewed in the order in which they are received, so in order to avoid any delays make sure that all of the required information is provided.

RESIDENTIAL – Two sets of plans and specifications need to be provided with the following information:

- ☒ **New Single Family Dwellings/Duplexes and Townhouses – Two full sets of plans**
 - Site Plan - All site plans must be to not less than 1/20 scale and include lot lines, easements, drainage, north arrow, lot corner and foundation elevations.
 - Foundation Plan - Reinforcement (required only for foundations exceeding 2 feet in height), ventilation, frost wall for stoops of other appendages.
 - Floor Plan - Building dimensions, window and door sizes, smoke detectors.
 - Wall Section - Foundation, structural framing members, wall composition (including wall insulation & insulated sheathing) insulation baffles, roof framing, roof sheathing, roof covering, roof pitch.
 - Elevations - Front, back and both sides.
 - Energy Form - Prescriptive Report or RESCHECK energy compliance form (ResCheck software is available at no Charge at www.EnergyCodes.gov) Manual J and D calculations.
 - Flood Plain - Flood plain certificate for all project built within Caldwell designated flood plain.
- ☒ **Residential Additions/Accessory Buildings**
 - Site Plan - All site plans must be to not less than 1/20 scale and include lot lines, easements, drainage, north arrow, lot corner and foundation elevations.
 - Floor Plan - Building dimensions, window and door sizes, smoke detectors.
 - Wall Section - Foundation, structural framing members, wall composition (including wall insulation & insulated sheathing) insulated baffles, roof framing, roof sheathing, roof covering, roof pitch.

PLAN REVIEW TURN AROUND TIMES

- ☒ The estimated time for a residential plan review is set at not more than 5 to 7 working days. This is contingent upon the submittal of a complete set of plans and specification along with all of the required supporting documents. Exception – Projects proposed on parcels of land that are not part of a platted subdivision will take longer.

CODES ADOPTED

- ☒ 2018 International Building Code
- ☒ 2018 International Residential Code
- ☒ 2018 International Existing Building Code
- ☒ 2018 International Fire Code
- ☒ 2023 National Electrical Code
- ☒ 2018 International Mechanical Code
- ☒ 2018 International Fuel Gas Code
- ☒ 2018 International Energy Conservation Code (residential)
- ☒ 2018 International Energy Conservation Code (commercial)
- ☒ 2017 Idaho State/Uniform Plumbing Code
- ☒ 2018 International Property Maintenance Code



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CONTRACTOR REGISTRATION DECLARATION

Idaho Code 54-5209. **Building permits and contractor registration number.** (1) On and after January 1, 2006, no building inspector or such other authority of any county, municipality or district charged with the duty of issuing building permits or other permits for construction of any type shall issue any permit without first requesting presentment of an Idaho contractors registration number. Such registration number presented shall be conspicuously entered on the face of a permit so issued; provided however, a permit may be issued to a person otherwise exempt from the provisions of this chapter provided such permit shall conspicuously contain the phrase "no contractor registration provided" on the face of such permit. No authority charged with the duty of issuing such permit shall be required to verify that the person applying for such permit is exempt as provided in this chapter.

(2) All building permits or other permits for construction of any type shall be posted at the construction site in such a manner that the conspicuous statements set forth in subsection (1) of this section are visible.

(3) No person engaged in construction activities who is otherwise exempt as set forth in section 54-5205, Idaho Code, shall be required to have a contractor registration number.

I certify that:

_____ is my Contractor Registration Number issued by the State of Idaho as required by Idaho State Code Chapter 52, Title 54 and that such registration is current as of today.

I am not providing a Contractor Registration Number because I am exempt per Idaho State Code 54-5205.

I understand that acting in the capacity of a contractor without a current registration with the Idaho Bureau of Occupational Licenses, or without being exempt, is punishable by applicable laws.

Print Name

Signature

Date

Prescriptive Specification Worksheet

2018 International Energy Conservation Code (IECC)

Builder Name _____ Date _____

Builder Address _____

Building Address _____

Climate Zone _____

Submitted By _____ Phone Number _____

Enforcement Agency:
Permit #
Checked By

PROPOSED	REQUIRED
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R-Value

Description	Comments	Proposed R-Value	Minimum R-Value
Ceiling		R-	R- 38
Wall		R-	R- 20
Floor over Unconditioned Space		R-	R- 30
Floor Over Outside Air		R-	R- 30
Basement Wall		R-	R- 15/19
Slab Floor		R-	R- 10, 2 ft.
Crawl Space Wall		R-	R- 15/19
Mass Wall		R-	R- 13/17

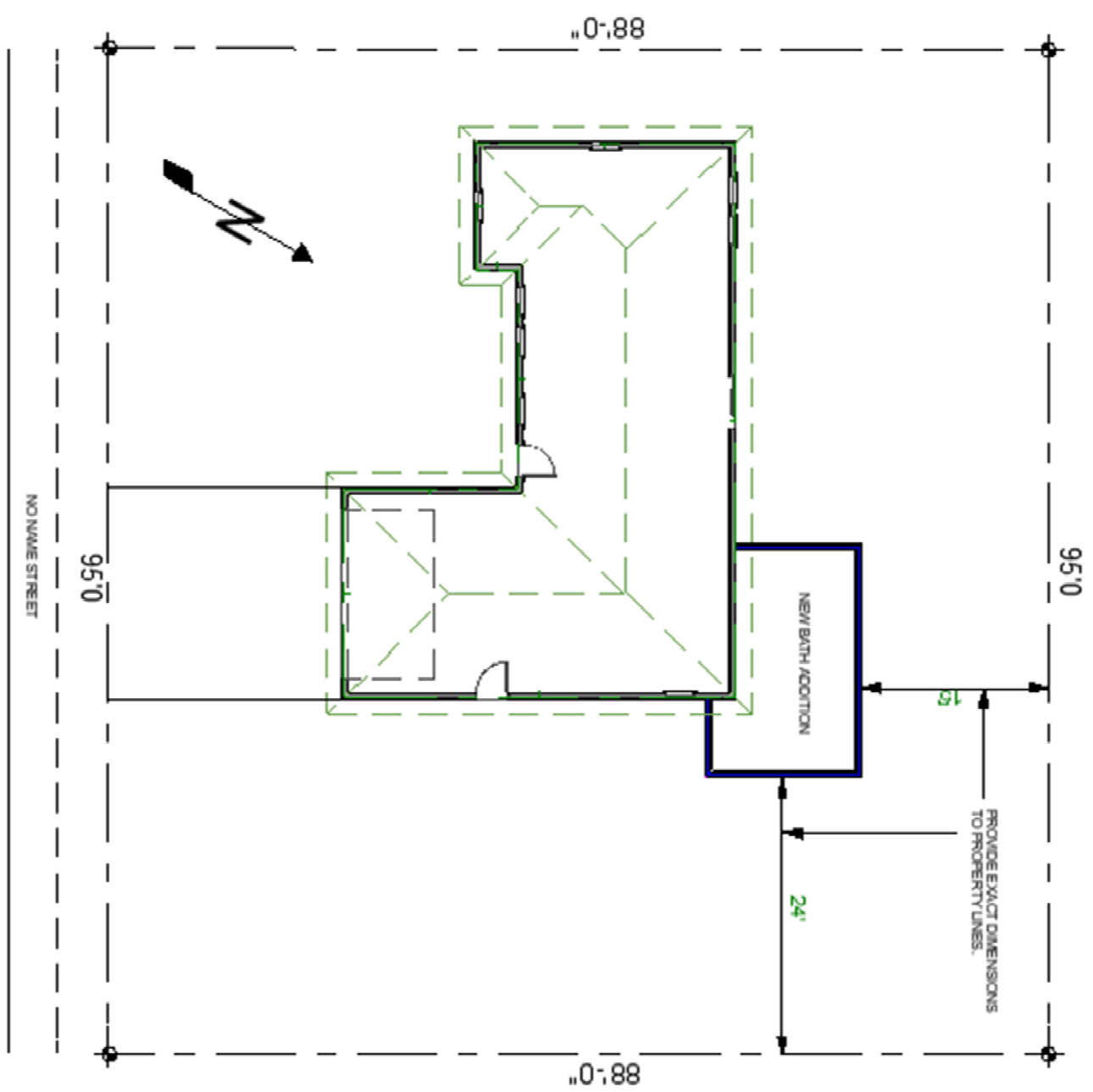
U-Factor

Description	Comments	Proposed U-Value	Minimum R-Value
Glazing		U-	U- 0.32
Opaque Door		U-	U- 0.35
Skylight		U-	U- 0.55

Statement of Compliance: The proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building design has been designed to meet the requirements of the International Energy Conservation Code.

Building Designer _____ Company Name _____ Date _____

1. THIS IS AN EXAMPLE ONLY. USE THIS AS A GUIDE TO COMPLETE YOUR DRAWINGS.
2. SITE PLAN MUST BE ACCURATE
3. THIS GUIDE IS NOT TO SCALE.
4. PROVIDE LEGAL ADDRESS TO PROPERTY.
5. PROVIDE LEGAL INFORMATION IF AVAILABLE.
6. INDICATE NORTH DIRECTION.

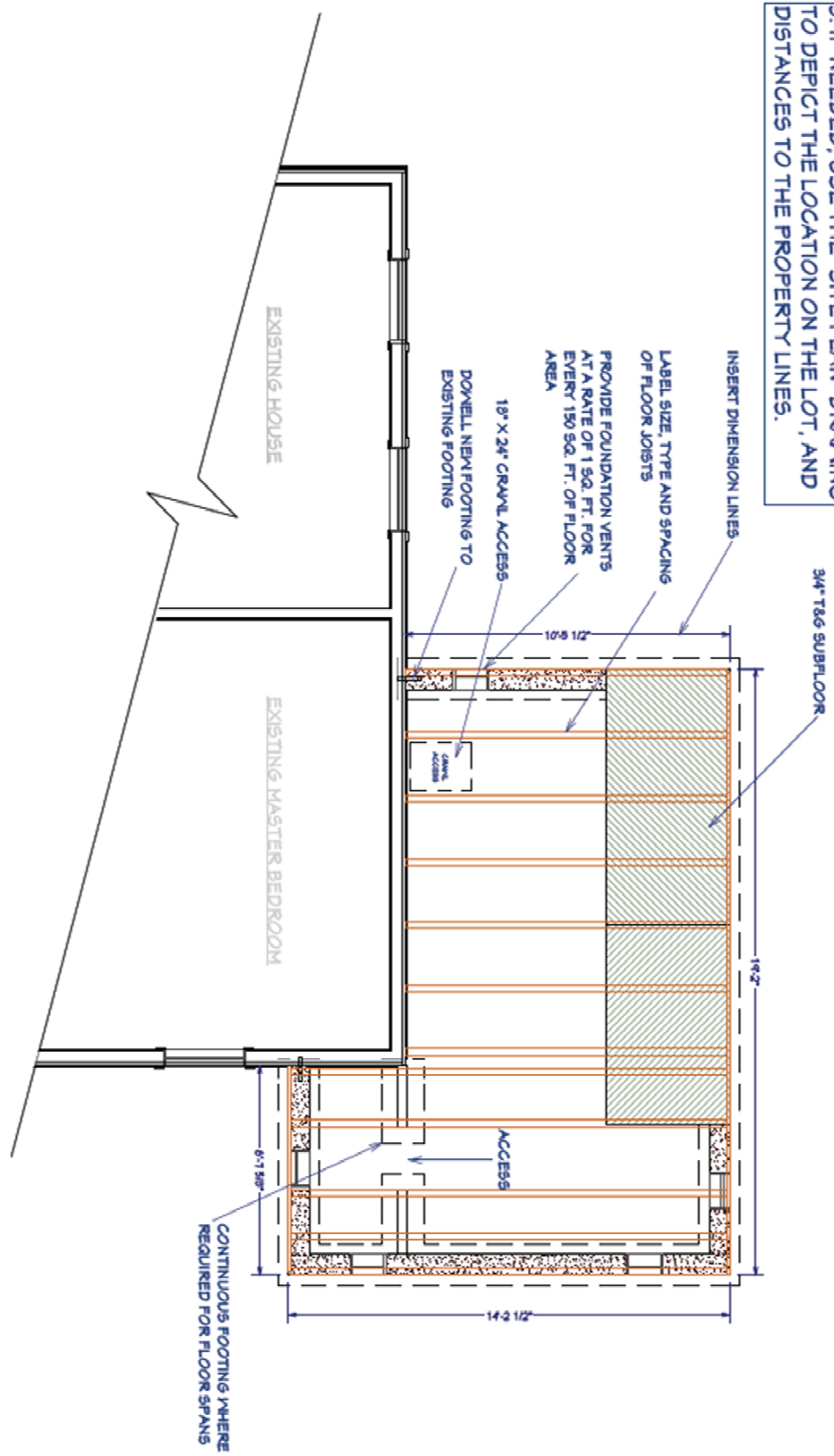


DATE:	
SCALE:	N.T.S.
SHEET:	A-1

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PROJECT DESIGNATION:
**ADDITION SITE PLAN
 EXAMPLE**

1. THIS DRAWING IS AN EXAMPLE ONLY. IT IS TO BE USED AS A GUIDE TO PREPARE DRAWINGS FOR THE SUBMITTAL PROCESS.
2. IF NEEDED, USE THE "BUILDING SECTION" DRAWING AS A GUIDE TO ASSIST WITH YOUR DRAWING.
3. IF NEEDED, USE THE "SITE PLAN" DRAWING TO DEPICT THE LOCATION ON THE LOT, AND DISTANCES TO THE PROPERTY LINES.



PROJECT DESCRIPTION:
**FOUNDATION EXAMPLE
 (ADDITION)**

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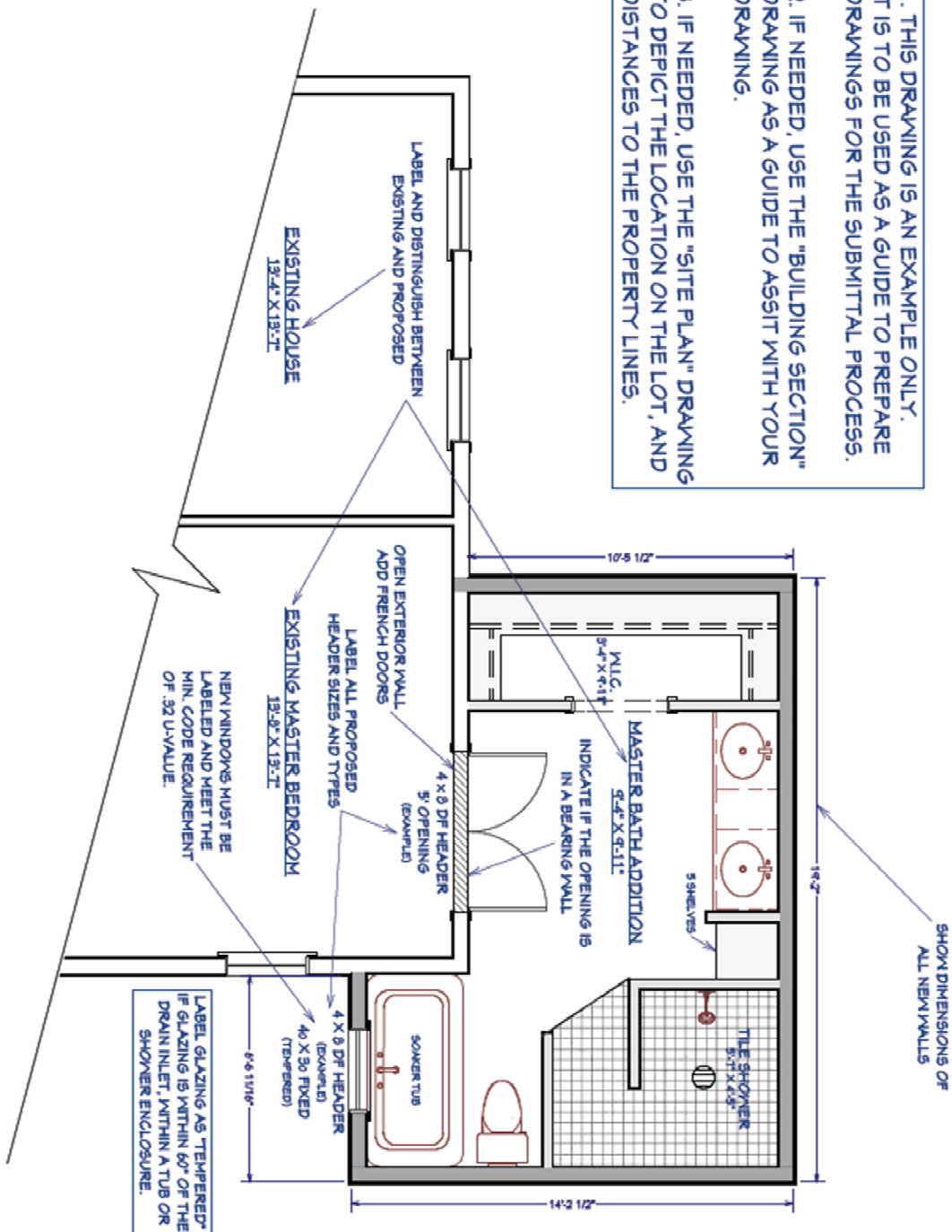


DATE:
7-15-22

SCALE:
1/4" = 1'-0"


SHEET:
A-1

1. THIS DRAWING IS AN EXAMPLE ONLY. IT IS TO BE USED AS A GUIDE TO PREPARE DRAWINGS FOR THE SUBMITTAL PROCESS.
2. IF NEEDED, USE THE "BUILDING SECTION" DRAWING AS A GUIDE TO ASSIST WITH YOUR DRAWING.
3. IF NEEDED, USE THE "SITE PLAN" DRAWING TO DEPICT THE LOCATION ON THE LOT, AND DISTANCES TO THE PROPERTY LINES.

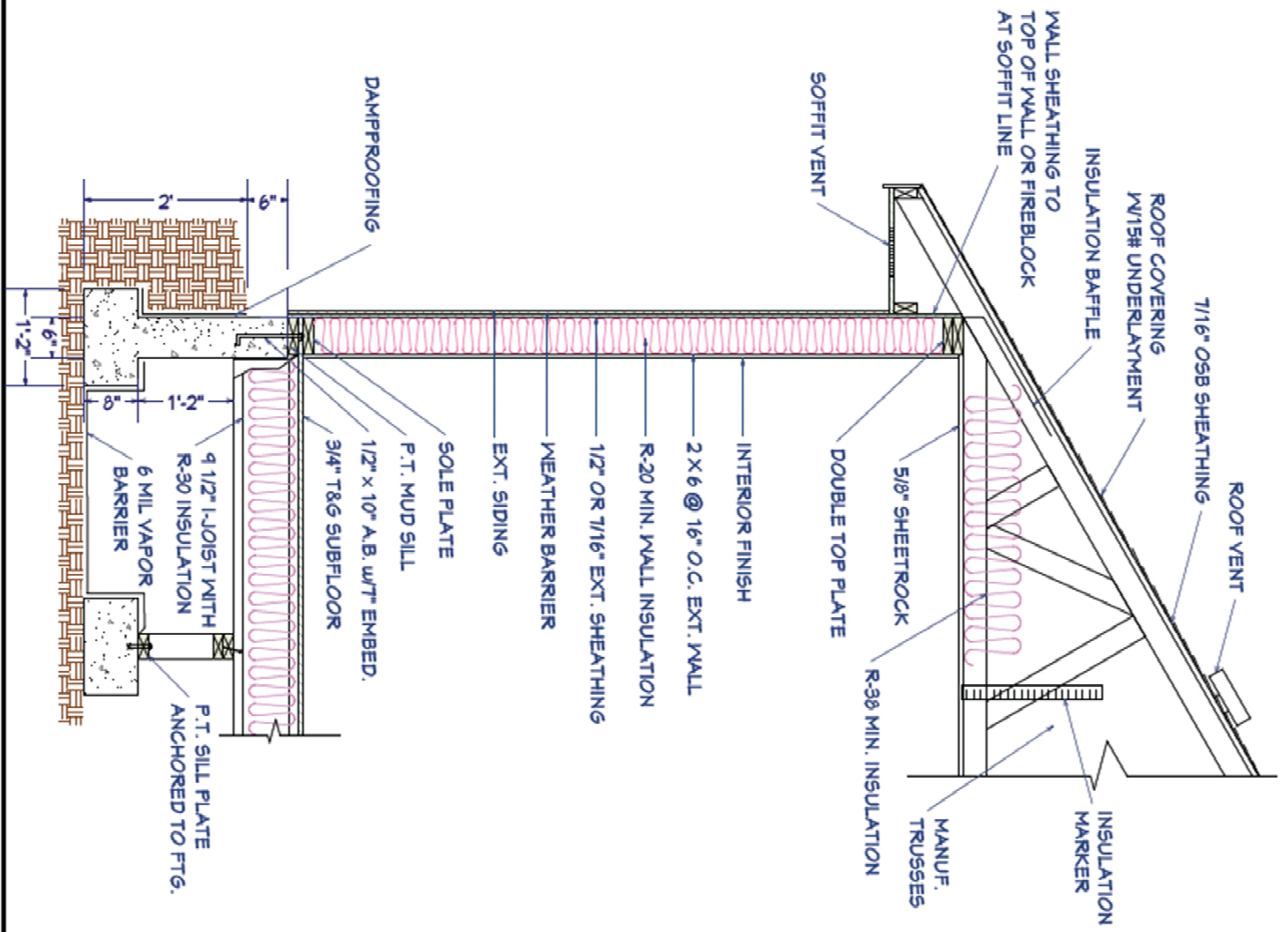


PROJECT DESCRIPTION:
FLOOR PLAN EXAMPLE

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DATE:	7-6-22
SCALE:	3/16" = 1'-0"
SHEET:	A-1



THIS EXAMPLE DRAWING REFLECTS MIN. CODE REQUIREMENTS OF THE CURRENT ADOPTED EDITIONS. DIMENSIONAL LUMBER MAY BE USED IN LIEU OF MANUFACTURED LUMBER. FOOTING SIZES NOTED ARE TYPICAL AND DO NOT REPRESENT CODE MINIMUM.

MINIMUM CODE REQUIREMENTS FOR FOOTINGS OF CONVENTIONAL LIGHT FRAME CONSTRUCTION:

1 STORY	12" WIDE X 6" DEEP
2 STORY	15" WIDE X 8" DEEP
3 STORY	23" WIDE X 10" DEEP

SIDING SHALL HAVE A MINIMUM CLEARANCE TO EARTH OF 6".


DRAINAGE AWAY FROM THE FOUNDATION SHALL BE PROVIDED AT A SLOPE OF 6" IN THE FIRST 10".

CRAWLSPACE VENTILATION SHALL BE PROVIDED AT A RATE OF 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR SPACE.

ATTIC/ROOF VENTILATION SHALL BE PROVIDED AT A RATE OF 1 SQ. FT. FOR EACH 150 SQ. FT. OF ATTIC AREA.

PROJECT DESCRIPTION:
BUILDING SECTION

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DATE:
7-1-22

SCALE:
1/2" = 1'-0"

SHEET:
A-1