



CITY OF CALDWELL
 Department of Building Safety
 205 S. 6th Ave.
 Caldwell, ID 83605
 Ph: 208-455-3024
 Brett Clark, C.B.O., Building Official
 Website * www.cityofcaldwell.org

BUILDING PERMIT APPLICATION

RESIDENTIAL / UTILITY	Plan Review Fees:	Plan review fees are required to be paid in full at time of submittal.
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PROJECT INFORMATION

Job Address:			
Legal Descr.	Lot No.	Block No.	Subdivision:
Owner:			Phone
Address		Email:	
Contractor:		Phone	Reg. No.
Address		Email:	
Architect:			Phone
Address		Email:	
Engineer:			Phone
Address		Email:	
Class of Work: <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MISC.			
Single Family Dwelling: _____ Sq. Ft.		Garage: _____ Sq. Ft.	
		Porches / Misc. _____ Sq. Ft.	
Duplex / Townhouse: _____ Sq. Ft.		Garage: _____ Sq. Ft.	
		Porches / Misc. _____ Sq. Ft.	
Scope of Work: (If other than above)			

Valuation of Work: \$ Plan Review _____ Application Accepted By, _____ PLAN CHECK VALIDATION: Check # CC Cash PERMIT VALIDATION: Check # CC Cash <small>SEPARATE PERMITS ARE REQUIRED FOR PLUMBING, ELECTRICAL, MECHANICAL, DEMOLITION, AND MOVED BUILDINGS.</small> <small>THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS FROM THE ISSUANCE OF THIS PERMIT, OR IF CONSTRUCTION OR WORK IS ABANDONED OR SUSPENDED FOR A PERIOD OF 180 DAYS AFTER WORK IS COMMENCED. EXPIRED PERMITS ARE NOT ELIGIBLE FOR AN EXTENSION.</small> <small>I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF ORDINANCES AND LAWS GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION.</small> _____ (Date) Signature of Contractor or Authorized Representative _____ (Date) Signature of Owner (If Owner Builder)	OFFICIAL USE ONLY	
BUILDING PERMIT #		
Adjusted _____	Total Permit \$ _____	
Occupancy Group	Actual Sq. Ft. Of Building	Actual Sq. Ft. Of Garage
Building Height	Number of Stories	Actual Sq. Ft. Of _____
Zone Designation	Floodplain Requirements: <input type="checkbox"/> Yes <input type="checkbox"/> No	Initials: _____
DEPARTMENT APPROVALS		
Department	Signature	Date
Mapping		
Planning & Zoning		
Engineering		
Floodplain		
Building		

BUILDING PERMIT APPLICATION INFORMATION

- ☒ Fences and other miscellaneous projects only require the completion of the building permit application and a minimal review.
- ☒ Additional permits are required for any electrical, plumbing and mechanical installations.
- ☒ Permit applications are reviewed in the order in which they are received, so in order to avoid any delays make sure that all of the required information is provided.

RESIDENTIAL – Two sets of plans and specifications need to be provided with the following information:
To improve efficiency, please submit online through [ePermits](#) at cityofcaldwell.com

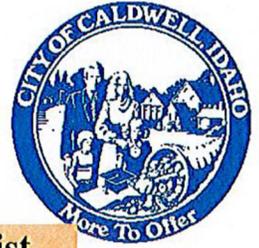
- ☒ **New Single Family Dwellings/Duplexes and Townhouses – Two full sets of plans**
 - Site Plan - All site plans must be to not less than 1/20 scale and include lot lines, easements, drainage, north arrow, lot corner and foundation elevations.
 - Foundation Plan - Reinforcement (required only for foundations exceeding 2 feet in height), ventilation, frost wall for stoops of other appendages.
 - Floor Plan - Building dimensions, window and door sizes, smoke detectors.
 - Wall Section - Foundation, structural framing members, wall composition (including wall insulation & insulated sheathing) insulation baffles, roof framing, roof sheathing, roof covering, roof pitch.
 - Elevations - Front, back and both sides.
 - Energy Form - Prescriptive Report or RESCHECK energy compliance form (ResCheck software is available at no Charge at www.EnergyCodes.gov) Manual J and D calculations.
 - Flood Plain - Flood plain certificate for all project built within Caldwell designated flood plain.
- ☒ **Residential Additions/Accessory Buildings**
 - Site Plan - All site plans must be to not less than 1/20 scale and include lot lines, easements, drainage, north arrow, lot corner and foundation elevations.
 - Floor Plan - Building dimensions, window and door sizes, smoke detectors.
 - Wall Section - Foundation, structural framing members, wall composition (including wall insulation & insulated sheathing) insulated baffles, roof framing, roof sheathing, roof covering, roof pitch.

PLAN REVIEW TURN AROUND TIMES

- ☒ The estimated time for a residential plan review is set at not more than 5 to 7 working days. This is contingent upon the submittal of a complete set of plans and specification along with all of the required supporting documents. Exception – Projects proposed on parcels of land that are not part of a platted subdivision will take longer.

CODES ADOPTED <https://codelibrary.amlegal.com/codes/caldwellid/latest/overview>

- ☒ 2018 International Building Code
- ☒ 2018 International Existing Building Code
- ☒ 2018 International Fire Code
- ☒ 2023 National Electrical Code
- ☒ 2018 International Mechanical Code
- ☒ 2018 International Fuel Gas Code
- ☒ 2018 International Energy Conservation Code (commercial)
- ☒ 2018 International Energy Conservation Code (residential)
- ☒ 2017 Idaho State/Uniform Plumbing Code
- ☒ 2018 International Residential Code
- ☒ 2018 International Property Maintenance Code



City of Caldwell Residential Building Permit Review Checklist

Permit Number: _____

Address: _____

Date: _____

CALDWELL MAYOR

Garret Nancolas

CITY CLERK

Debbie Geyer

COUNCIL MEMBERS

Dennis Collsen

Rob Oates

Bob Sobba

Jim Dakan

Rob Hopper

Jim Blacker

ENGINEER AND

PUBLIC WORKS

DEPARTMENT

621 Cleveland Blvd.

Caldwell, ID 83605

PHONE

(208) 455-3006

FAX

(208) 455-3012

SITE PLAN:		Okay	Need	N/A
1	Is a site plan attached to the building permit?			
2	Is the site plan showing the correct lot (lot dimensions, shape, lot, block, subdivision, etc..)?			
3	Are all easements clearly indicated on the site plan?			
4	Are dimensions clearly indicated from property line to the building structure?			
5	Are all other buildings on the lot shown? (if second building is being added to the property)			
6	Is the vision triangle clear and free of obstructions taller than 3'?			
7	No part of the driveway shall be located in the vision triangle.			
8	Is the lot located within the APO Zone? (If yes stamp each set of plans with APO Zone stamp)			
9	If lot is outside City limits and connects to City service/s has a Municipal Services Agreement been executed?			
10	Does the Infrastructure Policy apply? (if no skip items 11 & 12)			
11	Does the lot meet the criteria for a Deferral Agreement? (if yes see item 12)			
12	Has a Deferral Agreement been executed?			
13	Check GIS and hanging boards for easements, deeds, vacations, and other utilities.			
14	Do any easements need to be obtained for utilities currently not covered in easements?			
GENERAL FEES:		Okay	Need	N/A
1	Sewer - Main Line Extension			
2	Sewer - Interceptor			
3	Sewer - Plant Capacity			
4	Sewer - Stub Out			
5	Water - Meter Only			
6	Water - Main Line Extension			
7	Water - Well Development			
8	Water - Trunk Line			
9	Water - Radio Read			
10	Water - Meter and Service			
11	Water - Asphalt Repair			
12	Water - Tapping Fee			
SPECIALTY FEES:		Okay	Need	N/A
1	Arbor Ridge - Force Main			
2	Arbor Ridge - Lift Station			
3	Powder River - Pump Fee			
4	Far West - Sewer Trunk Fee			





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CONTRACTOR REGISTRATION DECLARATION

Idaho Code 54-5209. **Building permits and contractor registration number.** (1) On and after January 1, 2006, no building inspector or such other authority of any county, municipality or district charged with the duty of issuing building permits or other permits for construction of any type shall issue any permit without first requesting presentment of an Idaho contractors registration number. Such registration number presented shall be conspicuously entered on the face of a permit so issued; provided however, a permit may be issued to a person otherwise exempt from the provisions of this chapter provided such permit shall conspicuously contain the phrase "no contractor registration provided" on the face of such permit. No authority charged with the duty of issuing such permit shall be required to verify that the person applying for such permit is exempt as provided in this chapter.

(2) All building permits or other permits for construction of any type shall be posted at the construction site in such a manner that the conspicuous statements set forth in subsection (1) of this section are visible.

(3) No person engaged in construction activities who is otherwise exempt as set forth in section 54-5205, Idaho Code, shall be required to have a contractor registration number.

I certify that:

_____ is my Contractor Registration Number issued by the State of Idaho as required by Idaho State Code Chapter 52, Title 54 and that such registration is current as of today.

I am not providing a Contractor Registration Number because I am exempt per Idaho State Code 54-5205.

I understand that acting in the capacity of a contractor without a current registration with the Idaho Bureau of Occupational Licenses, or without being exempt, is punishable by applicable laws.

Print Name

Signature

Date